

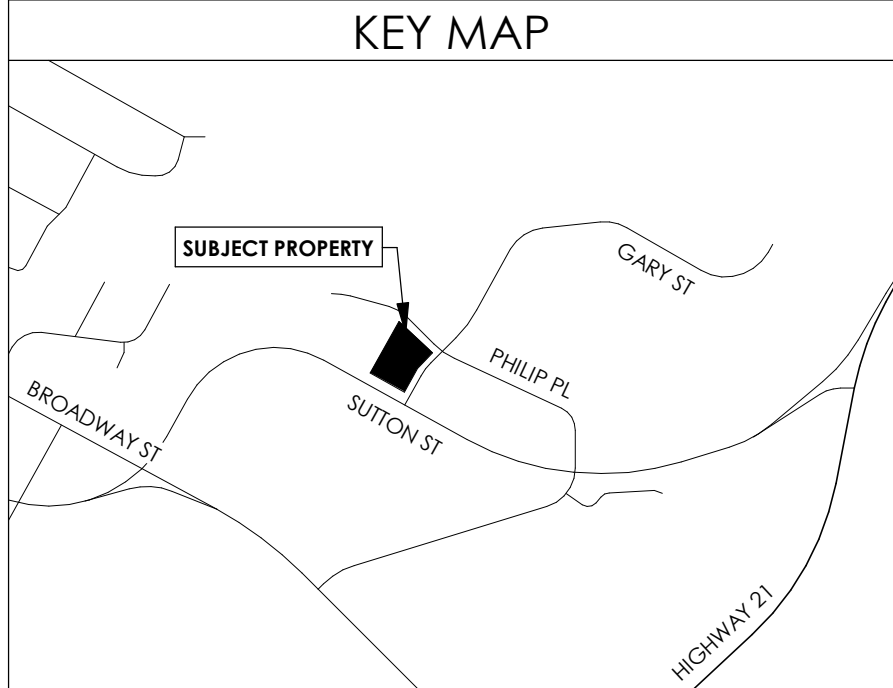
SITE LEGEND

- ENTRANCE/EXIT
- PARKING COUNT
- BARRIER FREE PARKING
- HYDRO POLE
- LIGHT POLE
- FIRE HYDRANT
- BARRIER FREE SIGNAGE

NOTES

- LEGAL DESCRIPTION: ---
- INFORMATION REGARDING SITE FEATURES BASED ON ---
- FOR SITE GRADING, SERVICING AND STORM WATER MANAGEMENT DETAILS, REFER TO DRAWINGS PREPARED BY ---
- ALL ROADS AND ISLANDS SHALL HAVE 150mm CURBS UNLESS OTHERWISE NOTED.
- CURB RADII SHALL BE 0.5m UNLESS OTHERWISE NOTED.
- STANDARD PARKING STALL DIMENSION SHALL BE 2.90m x 6.00m.
- BARRIER-FREE PARKING STALL DIMENSION SHALL BE 3.00m x 6.00m AND SHALL MEET ALL MUNICIPALITY OF KINCARDINE REQUIREMENTS.
- ALL OUTDOOR LIGHTING SHALL BE FULL CUT-OFF AND HAVE NO GLARE.
- TREE PROTECTION FENCING SHALL BE ERECTED AROUND ALL EXISTING LANDSCAPED AREAS AND SHOULD REMAIN ON SITE FOR THE DURATION OF CONSTRUCTION.
- SIGNAGE (BUILDING, PYLON OR OTHERWISE) NOT APPROVED VIA THE SITE PLAN PROCESS.
- THERE SHALL BE NO STORAGE OF ANY ITEMS ON SITE.
- ALL FINAL LOT DIMENSIONS ARE TO BE PREPARED BY THE PROJECTS SURVEYOR. ALL DIMENSIONS ARE SUBJECT TO APPROVAL OF THE MUNICIPAL AUTHORITY.

KEY MAP



ZONING DATA CHART

SUTTON STREET & GARY STREET KINCARDINE, ON		
PROPOSED SITE PLAN		
PREPARED BY EDGE ARCHITECTS LTD. NOVEMBER 23, 2020		
ZONING COMPLIANCE CHART		
CURRENT ZONING: GENERAL COMMERCIAL (C1); ZONING BY-LAW 2003-25		
USE	MULTI-RES DEVELOPMENT	
MINIMUM LOT AREA	REQUIRED 85.0m ²	PROVIDED 4,353.7m ²
LOT FRONTAGE	5.0m (MIN.)	70.5m
FRONT YARD SETBACK (S)	0.0m (MIN.)	0.0m
EXT. SIDE YARD SETBACK (E)	0.0m (MIN.)	0.37m
EXT. SIDE YARD SETBACK (W)	0.0m (MIN.)	1.45m
REAR YARD SETBACK (N)	6.0m (MIN.)	33.7m
LOT COVERAGE	65.0% (2,829.9m ²)	29.7% (1,296.7m ²)
LANDSCAPED	---	29.8% (423.2m ²)
PARKING	1 SPACE/ UNIT (54 UNITS) = 54 SPACES VISITOR: 1 SPACES/ 4 UNITS (0.25 SPACE/ UNIT) = 14 SPACES TOTAL = 68 SPACES	TOTAL = 71 SPACES (14 VISITOR SPACES)
BARRIER-FREE PARKING	51-75 REQ. PARKING SPACES = 3 BARRIER-FREE PARKING SPACE	3 SPACES
# OF UNITS		GROUND FLR= 12 UNITS 2nd-4th FLOOR= 42 UNITS (14 UNITS ON TYPICAL FLOOR) TOTAL= 54 UNITS
# OF BEDS		GROUND FLR= 20 BEDS 2nd-4th FLOOR= 75 BEDS (25 UNITS ON TYPICAL FLOOR) TOTAL= 95 BEDS

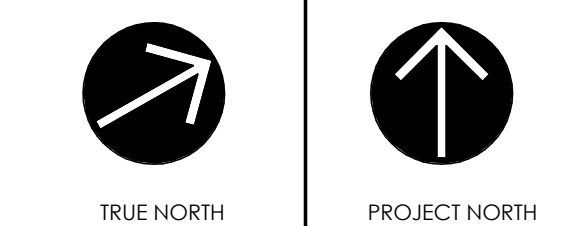
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THE GENERAL CONSTRUCTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANTS PRIOR TO PROCEEDING WITH THE WORK.

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL OTHER RELATED DOCUMENTS AND SPECIFICATIONS.

THIS DRAWING SHALL NOT BE SCALED.



ISSUED FOR:

SCHEMATIC DESIGN

DEVELOPED DESIGN

SITE PLAN APPROVAL 2020.12.08

BUILDING PERMIT

BIDDING/TENDER

NO.	REVISION DESCRIPTION	DATE
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EDGE

ARCHITECTS LTD

24 LAUREL STREET WATERLOO ONTARIO N2J 2H2



PROJECT NAME

KINCARDINE MULTI-RES DEVELOPMENT

SUTTON STREET & GARY STREET
KINCARDINE, ON

CLIENT

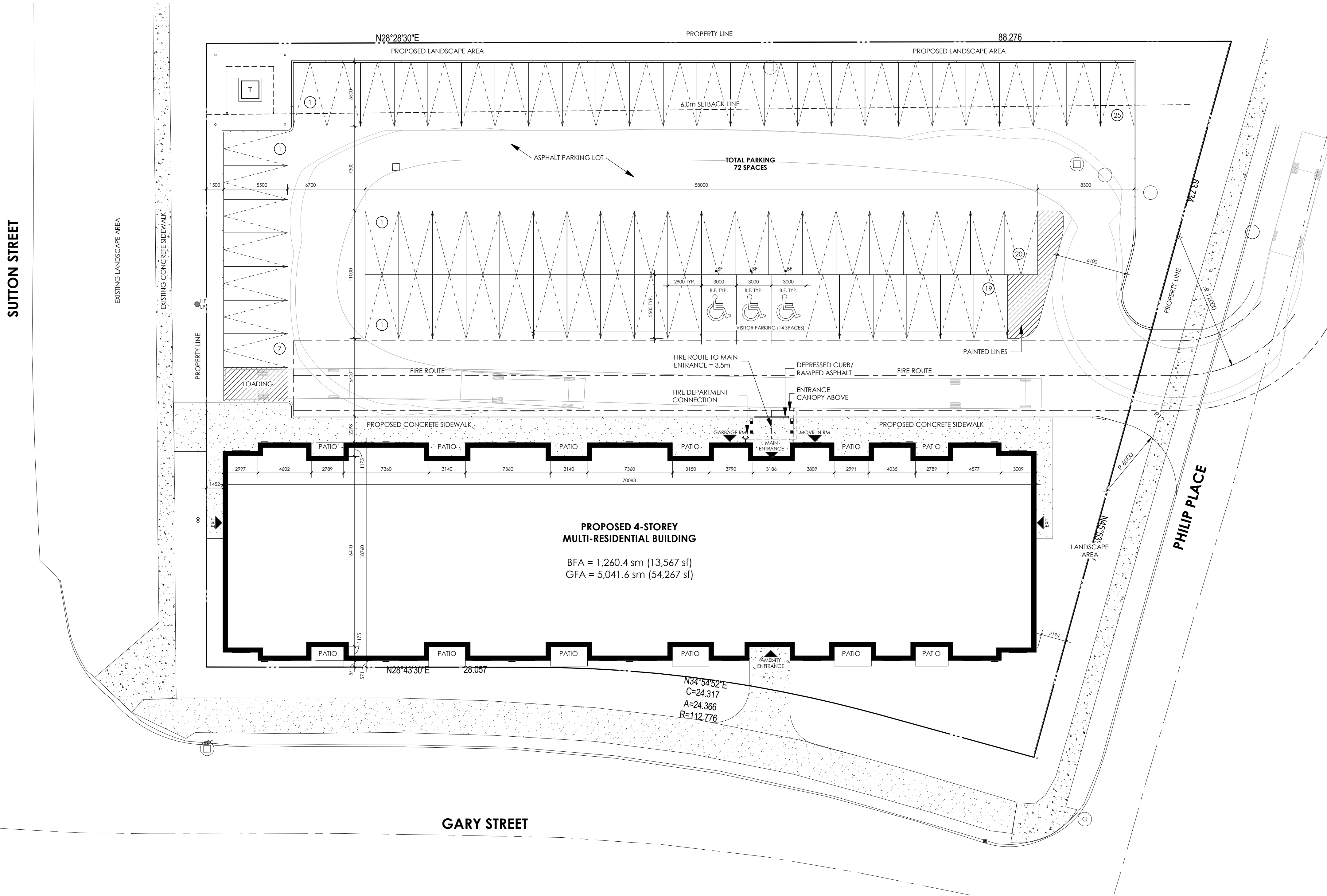
DRAWING TITLE

OVERALL SITE PLAN

PROJECT NUMBER	DRAWING NUMBER
20044	SPA.01

SCALE	SHEET SIZE
As indicated	24x36

OBC DATA MATRIX									
Item	Ontario Building Code Data Matrix					OBC Reference			
1	Project Description: NEW 4 STOREY CONDOMINIUM ■ New □ Addition □ Change of Use □ Alteration					2.1.1.	2.1.1.	11.1.1a	
	Location: GARY AND PHILIP STREET, KINCARDINE, ONTARIO								
2	Major Occupancy(s): Group C					3.1.2.1.(1)	9.10.2.(1)		
3	Building Area (m ²): Existing: - New: 1,260.4 Total: 1,260.4					1.1.3.	1.1.3.		
4	Gross Floor Area (m ²): Existing: - New: ##### Total: #####					1.1.3.	1.1.3.		
5	Number of Storeys: Above Grade: 4 Below Grade: 1					3.2.1.1. & 1.1.3.	9.10.4.		
6	Height of Building (m): 15.0								
7	Number of Streets / Access Routes: 2					3.2.2.10. & 3.2.5.5	9.10.20.		
8	Building Classification: 3.2.2.45 - Group C					3.2.2.20.83	9.10.2.		
9	Sprinkler System Proposed: ■ Entire Building □ Basement Only □ In Lieu of Roof Rating □ Not Required					3.2.2.15.	3.2.2.17.		
10	Standpipe Required: ■ Yes □ No					3.2.9.1.	9.31.3.1		
11	Fire Alarm Required: ■ Yes □ No					3.2.4.1.	9.10.18.2.		
12	Water Service / Supply is Adequate: ■ Yes ■ No					3.2.5.7.	N/A		
13	High Building: □ Yes ■ No					3.2.6.1.	N/A		
14	Permitted Construction: □ Combustible ■ Non-Combustible □ Both					3.2.2.20.83	9.10.6.		
15	Actual Construction: □ Combustible ■ Non-Combustible □ Both								
16	Mezzanine(s) Area (m ²): -----					3.2.1.1.(3)-(8)	9.10.4.1.		
17	Occupant Load: □ m ² /person ■ Design of Building					3.1.17.1.	9.9.1.3.		
18	Group C Occupancy: Number of beds (B) Load: 192 Persons								
19	Group E Occupancy: 74.0m² / 3.7 persons Load: 20 Persons								
20	Occupancy: Total Load: 212 Persons								
21	Barrier-free Design: ■ Yes □ No					3.8.1.1.	9.5.2.1.		
22	Hazardous Substances: □ Yes ■ No					3.3.1.2.(1) & 3.3.1.19.(1)	9.10.1.3.(4)		
23	Required Fire Resistance Rating (FRR)					3.2.2.20.83 & 3.2.1.4.	9.10.8.		
24	Horizontal Assemblies (FRR) (hours)						9.10.9.		
25	Floor 1 1.8.0								
26	Roof N/A								
27	Mezz. 1 1.8.0								
28	Supporting Members (FRR) (hours)								
29	Floor 1 1.8.0								
30	Roof N/A								
31	Mezz. 1 1.8.0								
32	Spatial Separation - Construction of Exterior Walls:					3.2.3.	9.10.14.		
33	Walls								
34	Area of EBF (m ²)								
35	L.D. (m)								
36	U/I Ratio								
37	Permitted U.O.'s (%)								
38	Proposed U.O.'s (%)								
39	FRR (hours)								
40	Listed Design No. or Description (BB-2)								
41	Combustible Construction								
42	Non-Combustible Construction								
43	North								
44	East								
45	West								
46	South								
47	Other: Major Occupancy Summary Floor/Area								
48	Group C Occupancy: Residential 3.2.2.45 - Group C Floor: 1,2,3,4 Area: 4,967.6 m²								
49	Group E Occupancy: Mercantile 3.2.2.58 - Group E Floor: 1 Area: 74.0 m²								
50	Occupancy:								
51	Occupancy:								



1 SPA.01 PROPOSED SITE PLAN

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