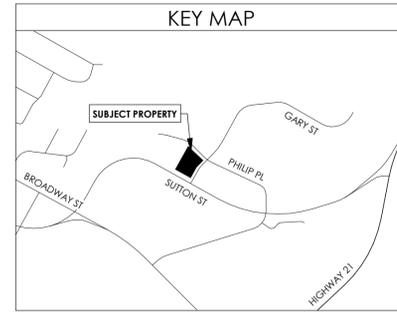


SITE LEGEND

- ▼ ENTRANCE/EXIT
- ① PARKING COUNT
- Ⓜ BARRIER FREE PARKING
- HP HYDRO POLE
- LP LIGHT POLE
- ⊕ FH FIRE HYDRANT
- BF BARRIER FREE SIGNAGE

NOTES

- LEGAL DESCRIPTION: ---
- INFORMATION REGARDING SITE FEATURES BASED ON ---
- FOR SITE GRADING, SERVICING AND STORM WATER MANAGEMENT DETAILS, REFER TO DRAWINGS PREPARED BY ---
- ALL ROADS AND ISLANDS SHALL HAVE 150mm CURBS UNLESS OTHERWISE NOTED.
- CURB RADII SHALL BE 0.5m UNLESS OTHERWISE NOTED.
- STANDARD PARKING STALL DIMENSION SHALL BE 2.90m x 6.00m.
- BARRIER-FREE PARKING STALL DIMENSION SHALL BE 3.00m x 6.00m AND SHALL MEET ALL MUNICIPALITY OF KINCARDINE REQUIREMENTS.
- ALL OUTDOOR LIGHTING SHALL BE FULL CUT-OFF AND HAVE NO GLARE.
- TREE PROTECTION FENCING SHALL BE ERRECTED AROUND ALL EXISTING LANDSCAPED AREAS AND SHOULD REMAIN ON SITE FOR THE DURATION OF CONSTRUCTION.
- SIGNAGE (BUILDING, PYLON OR OTHERWISE) NOT APPROVED VIA THE SITE PLAN PROCESS.
- THERE SHALL BE NO STORAGE OF ANY ITEMS ON SITE.
- ALL FINAL LOT DIMENSIONS ARE TO BE PREPARED BY THE PROJECTS SURVEYOR. ALL DIMENSIONS ARE SUBJECT TO APPROVAL OF THE MUNICIPAL AUTHORITY.



ZONING DATA CHART

SUTTON STREET & GARY STREET
KINCARDINE, ON

PROPOSED SITE PLAN

PREPARED BY EDGE ARCHITECTS LTD.
NOVEMBER 23, 2020

CURRENT ZONING: GENERAL COMMERCIAL (C1); ZONING BY-LAW 2003-25

USE	REQUIRED DEVELOPMENT	PROVIDED
MINIMUM LOT AREA	85.0m ²	4,353.7m ²
LOT FRONTAGE	5.0m (MIN.)	70.5m
FRONT YARD SETBACK (S)	0.0m (MIN.)	0.0m
EXT. SIDE YARD SETBACK (E)	0.0m (MIN.)	0.37m
EXT. SIDE YARD SETBACK (W)	0.0m (MIN.)	1.45m
REAR YARD SETBACK (N)	6.0m (MIN.)	33.7m
LOT COVERAGE	65.0% (2,829.9m ²)	29.7% (1,296.7m ²)
LANDSCAPED	---	29.8% (423.2m ²)
PARKING	1 SPACE/ UNIT (54 UNITS) = 54 SPACES	TOTAL = 71 SPACES (14 VISITOR SPACES)
VISITOR:	1 SPACES/ 4 UNITS (0.25 SPACE/ UNIT) = 14 SPACES	
TOTAL = 68 SPACES		
BARRIER-FREE PARKING	51-75 REQ. PARKING SPACES = 3 BARRIER-FREE PARKING SPACE	3 SPACES
# OF UNITS		GROUND FLR= 12 UNITS 2nd-4th FLOOR= 42 UNITS TOTAL= 54 UNITS
# OF BEDS		GROUND FLR= 20 BEDS 2nd-4th FLOOR= 75 BEDS TOTAL= 95 BEDS

ALL DRAWINGS AND RELATED DOCUMENTS ARE THE COPYRIGHT PROPERTY OF THE CONSULTANT, AND MUST BE RETURNED UPON REQUEST.

REPRODUCTIONS OF THE DRAWINGS AND RELATED DOCUMENTS IN PART OR IN WHOLE IS FORBIDDEN WITHOUT THE CONSULTANTS WRITTEN REQUEST.

THE GENERAL CONSTRUCTOR SHALL VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE CONSULTANTS PRIOR TO PROCEEDING WITH THE WORK.

THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ALL OTHER RELATED DOCUMENTS AND SPECIFICATIONS.

THIS DRAWING SHALL NOT BE SCALED.

TRUE NORTH

PROJECT NORTH

ISSUED FOR:

SCHEMATIC DESIGN

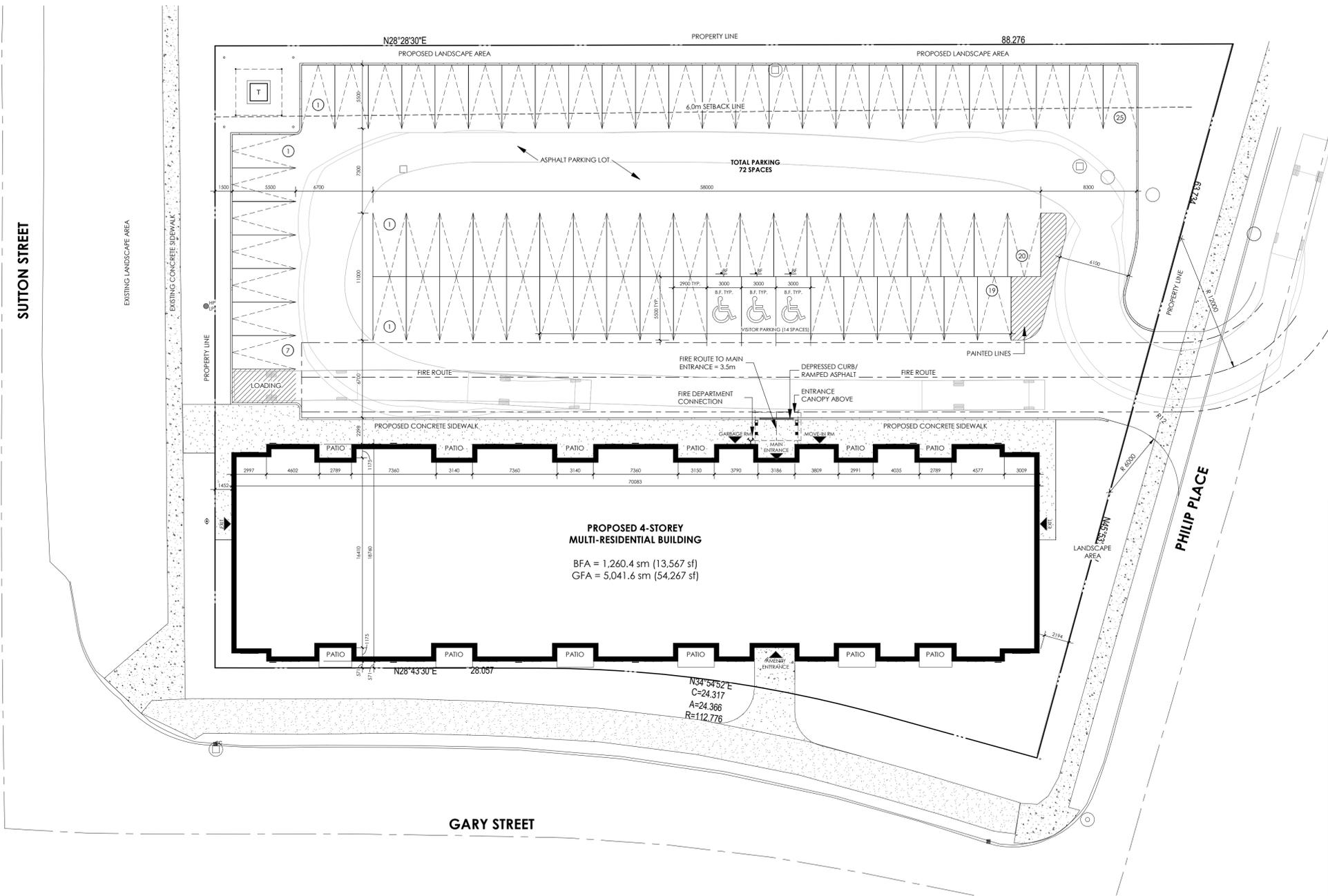
DEVELOPED DESIGN

SITE PLAN APPROVAL 2020.12.08

BUILDING PERMIT

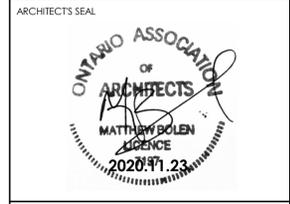
BIDDING/TENDER

NO.	REVISION DESCRIPTION	DATE



OBC DATA MATRIX

Item	Ontario Building Code Data Matrix	OBC Reference																																																							
1	Project Description: New 4 STOREY CONDOMINIUM	2.1.1, 2.1.1, 11.1 to 11.4																																																							
2	Major Occupancy Group: Group C	3.1.2.1 (1), 9.10.3, 11.3																																																							
3	Building Area (m ²): Existing: ---, New: 1,260.4 , Total: 1,260.4	1.1.3, 1.1.3																																																							
4	Gross Floor Area (m ²): Existing: ---, New: 5,041.6 , Total: 5,041.6	1.1.3, 1.1.3																																																							
5	Number of Storeys: Above Grade: 4 , Below Grade: 1	3.2.1.1, & 1.1.3, 9.10.4																																																							
6	Height of Building (m): 15.0	3.2.1.0, & 3.2.5.5, 9.10.20																																																							
7	Number of Streets / Access Routes: 2	3.2.2.0-83, 9.10.2																																																							
8	Building Classification: 3.2.2.45 - Group C	3.2.2.0-83, 9.10.8.2																																																							
9	Sprinkler System Proposed: <input type="checkbox"/> Entire Building, <input type="checkbox"/> Basement Only, <input type="checkbox"/> In Lieu of Roof Rating, <input type="checkbox"/> Not Required	3.2.1.5, 3.2.2.17																																																							
10	Standpipe Required: <input type="checkbox"/> Yes, <input type="checkbox"/> No	3.2.9.1, 9.31.3.1																																																							
11	Fire Alarm Required: <input type="checkbox"/> Yes, <input type="checkbox"/> No	3.2.4.1, 9.10.18.2																																																							
12	Water Service / Supply is Adequate: <input type="checkbox"/> Yes, <input type="checkbox"/> No	3.2.5.7, N/A																																																							
13	High Building: <input type="checkbox"/> Yes, <input type="checkbox"/> No	3.2.6.1, N/A																																																							
14	Permitted Construction: <input type="checkbox"/> Combustible, <input type="checkbox"/> Non-Combustible, <input type="checkbox"/> Both	3.2.2.0-83, 9.10.4																																																							
15	Actual Construction: <input type="checkbox"/> Combustible, <input type="checkbox"/> Non-Combustible, <input type="checkbox"/> Both	3.2.1.1, (3)-(8), 9.10.4.1																																																							
16	Occupant Load: <input type="checkbox"/> m ² /person, <input checked="" type="checkbox"/> Design of Building	3.1.17.1, 9.9.1.3																																																							
17	Barrier-free Design: <input checked="" type="checkbox"/> Yes, <input type="checkbox"/> No	3.8.1.1, 9.5.2.1																																																							
18	Hazardous Substances: <input type="checkbox"/> Yes, <input checked="" type="checkbox"/> No	3.3.1.2 (1) & 3.3.1.19 (1), 9.10.1.3 (4)																																																							
19	Required Fire Resistance Rating (FRR) <table border="1"> <tr> <th>Horizontal Assemblies (FR)</th> <th>Listed Design No. or Description (B-2)</th> <th>3.2.2.0-83 & 3.2.1.4</th> <th>9.10.8</th> <th>9.10.9</th> </tr> <tr> <td>Floor 1</td> <td>1.8.D</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Roof</td> <td>N/A</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Mezz.</td> <td>1.8.D</td> <td></td> <td></td> <td></td> </tr> <tr> <th>Supporting Members (FR)</th> <th>Listed Design No. or Description (B-2)</th> <th></th> <th></th> <th></th> </tr> <tr> <td>Floor 1</td> <td>1.8.D</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Roof</td> <td>N/A</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Mezz.</td> <td>1.8.D</td> <td></td> <td></td> <td></td> </tr> </table>	Horizontal Assemblies (FR)	Listed Design No. or Description (B-2)	3.2.2.0-83 & 3.2.1.4	9.10.8	9.10.9	Floor 1	1.8.D				Roof	N/A				Mezz.	1.8.D				Supporting Members (FR)	Listed Design No. or Description (B-2)				Floor 1	1.8.D				Roof	N/A				Mezz.	1.8.D				3.2.2.0-83 & 3.2.1.4, 9.10.8, 9.10.9.4															
Horizontal Assemblies (FR)	Listed Design No. or Description (B-2)	3.2.2.0-83 & 3.2.1.4	9.10.8	9.10.9																																																					
Floor 1	1.8.D																																																								
Roof	N/A																																																								
Mezz.	1.8.D																																																								
Supporting Members (FR)	Listed Design No. or Description (B-2)																																																								
Floor 1	1.8.D																																																								
Roof	N/A																																																								
Mezz.	1.8.D																																																								
20	Spatial Separation - Construction of Exterior Walls <table border="1"> <tr> <th>Walls</th> <th>Area of EBF (m²)</th> <th>LD (m)</th> <th>U/F Ratio</th> <th>Permitted U.O.V. (%)</th> <th>Proposed U.O.V. (%)</th> <th>FRR (Hours)</th> <th>Listed Design or Description</th> <th>Combustible Construction</th> <th>Non-Combustible Construction</th> <th>Non-Combustible Construction</th> </tr> <tr> <td>North</td> <td>192.8</td> <td>34.47</td> <td>3:1</td> <td>100%</td> <td>22.4%</td> <td>3/4</td> <td>1.8.D</td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td>East</td> <td>266.3</td> <td>12.2</td> <td>3:1</td> <td>100%</td> <td>9.4%</td> <td>3/4</td> <td>1.8.D</td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td>West</td> <td>192.8</td> <td>20.1</td> <td>3:1</td> <td>100%</td> <td>9.4%</td> <td>3/4</td> <td>1.8.D</td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> <tr> <td>South</td> <td>266.3</td> <td>12.2</td> <td>3:1</td> <td>100%</td> <td>21.8%</td> <td>3/4</td> <td>1.8.D</td> <td><input type="checkbox"/></td> <td><input checked="" type="checkbox"/></td> <td><input type="checkbox"/></td> </tr> </table>	Walls	Area of EBF (m ²)	LD (m)	U/F Ratio	Permitted U.O.V. (%)	Proposed U.O.V. (%)	FRR (Hours)	Listed Design or Description	Combustible Construction	Non-Combustible Construction	Non-Combustible Construction	North	192.8	34.47	3:1	100%	22.4%	3/4	1.8.D	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	East	266.3	12.2	3:1	100%	9.4%	3/4	1.8.D	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	West	192.8	20.1	3:1	100%	9.4%	3/4	1.8.D	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	South	266.3	12.2	3:1	100%	21.8%	3/4	1.8.D	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	3.2.3, 9.10.14
Walls	Area of EBF (m ²)	LD (m)	U/F Ratio	Permitted U.O.V. (%)	Proposed U.O.V. (%)	FRR (Hours)	Listed Design or Description	Combustible Construction	Non-Combustible Construction	Non-Combustible Construction																																															
North	192.8	34.47	3:1	100%	22.4%	3/4	1.8.D	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>																																															
East	266.3	12.2	3:1	100%	9.4%	3/4	1.8.D	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>																																															
West	192.8	20.1	3:1	100%	9.4%	3/4	1.8.D	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>																																															
South	266.3	12.2	3:1	100%	21.8%	3/4	1.8.D	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>																																															
21	Other: Major Occupancy Summary Floor/Area <table border="1"> <tr> <th>Group C</th> <th>Occupancy: Residential</th> <th>3.2.2.45 - Group C</th> <th>Floor: 1,2,3,4</th> <th>Area: 4,967.6 m²</th> </tr> <tr> <th>Group E</th> <th>Occupancy: Mercantile</th> <th>3.2.2.58 - Group E</th> <th>Floor: 1</th> <th>Area: 74.0 m²</th> </tr> </table>	Group C	Occupancy: Residential	3.2.2.45 - Group C	Floor: 1,2,3,4	Area: 4,967.6 m ²	Group E	Occupancy: Mercantile	3.2.2.58 - Group E	Floor: 1	Area: 74.0 m ²																																														
Group C	Occupancy: Residential	3.2.2.45 - Group C	Floor: 1,2,3,4	Area: 4,967.6 m ²																																																					
Group E	Occupancy: Mercantile	3.2.2.58 - Group E	Floor: 1	Area: 74.0 m ²																																																					



PROJECT NAME

KINCARDINE MULTI-RES DEVELOPMENT

SUTTON STREET & GARY STREET
KINCARDINE, ON

CLIENT

DRAWING TITLE

OVERALL SITE PLAN

PROJECT NUMBER

20044

DRAWING NUMBER

SPA.01

SCALE

As indicated

SHEET SIZE

24x36

1 SPA.01 PROPOSED SITE PLAN